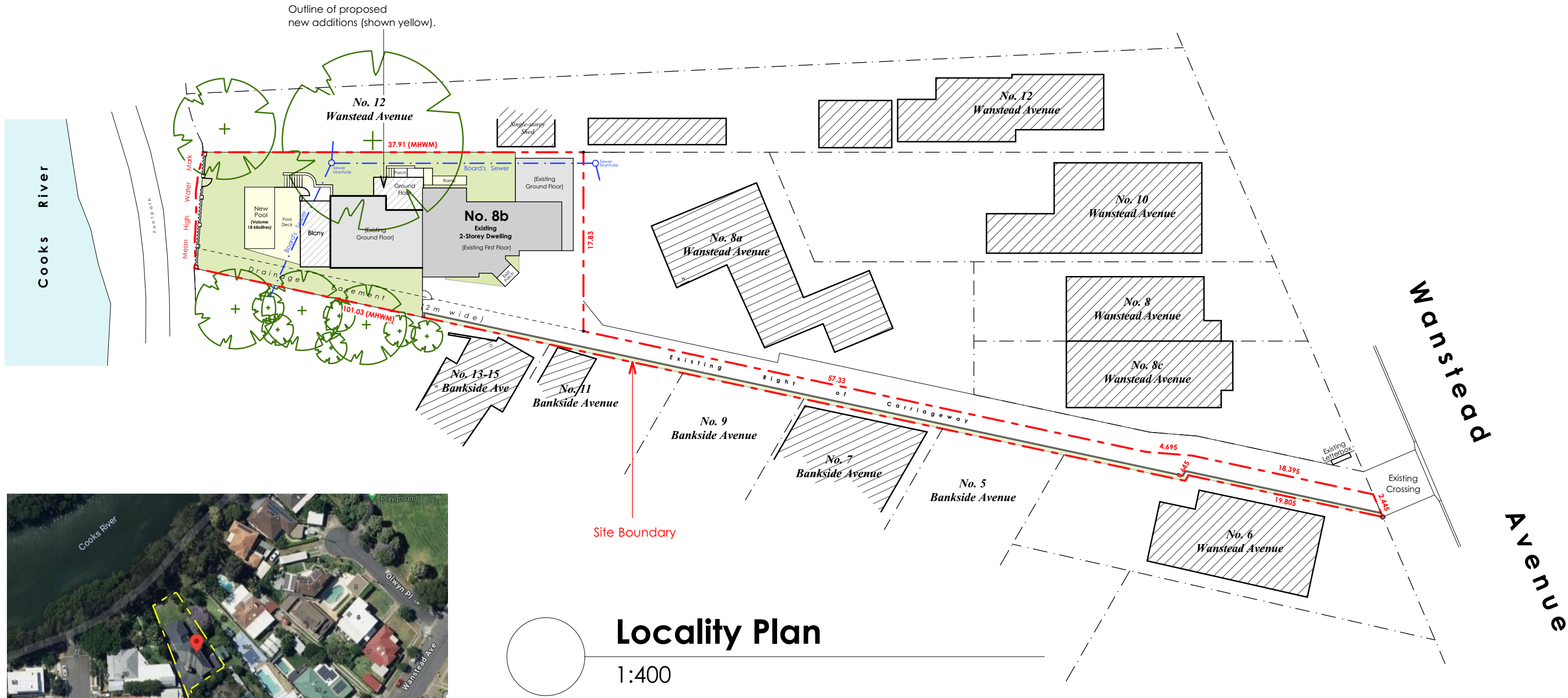
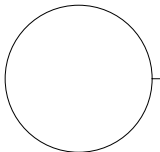
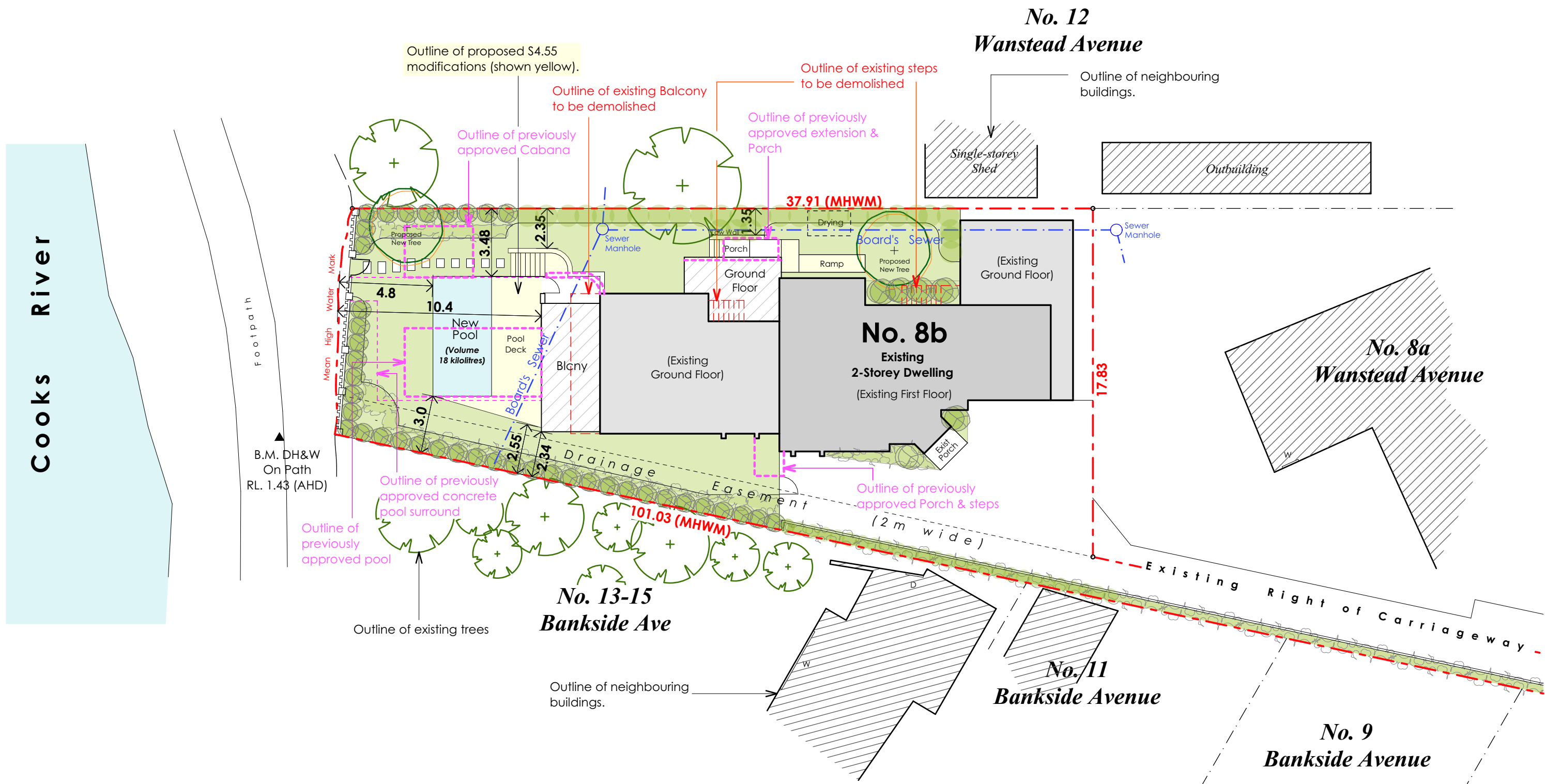


# Proposed New Swimming Pool and Alterations and Additions to an existing dwelling at 8b Wanstead Avenue Earlwood





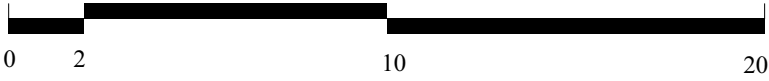
Aerial Photo



Site Plan

1:200

Total Site Area = 767.4 m<sup>2</sup>



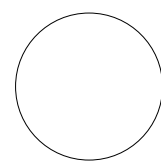
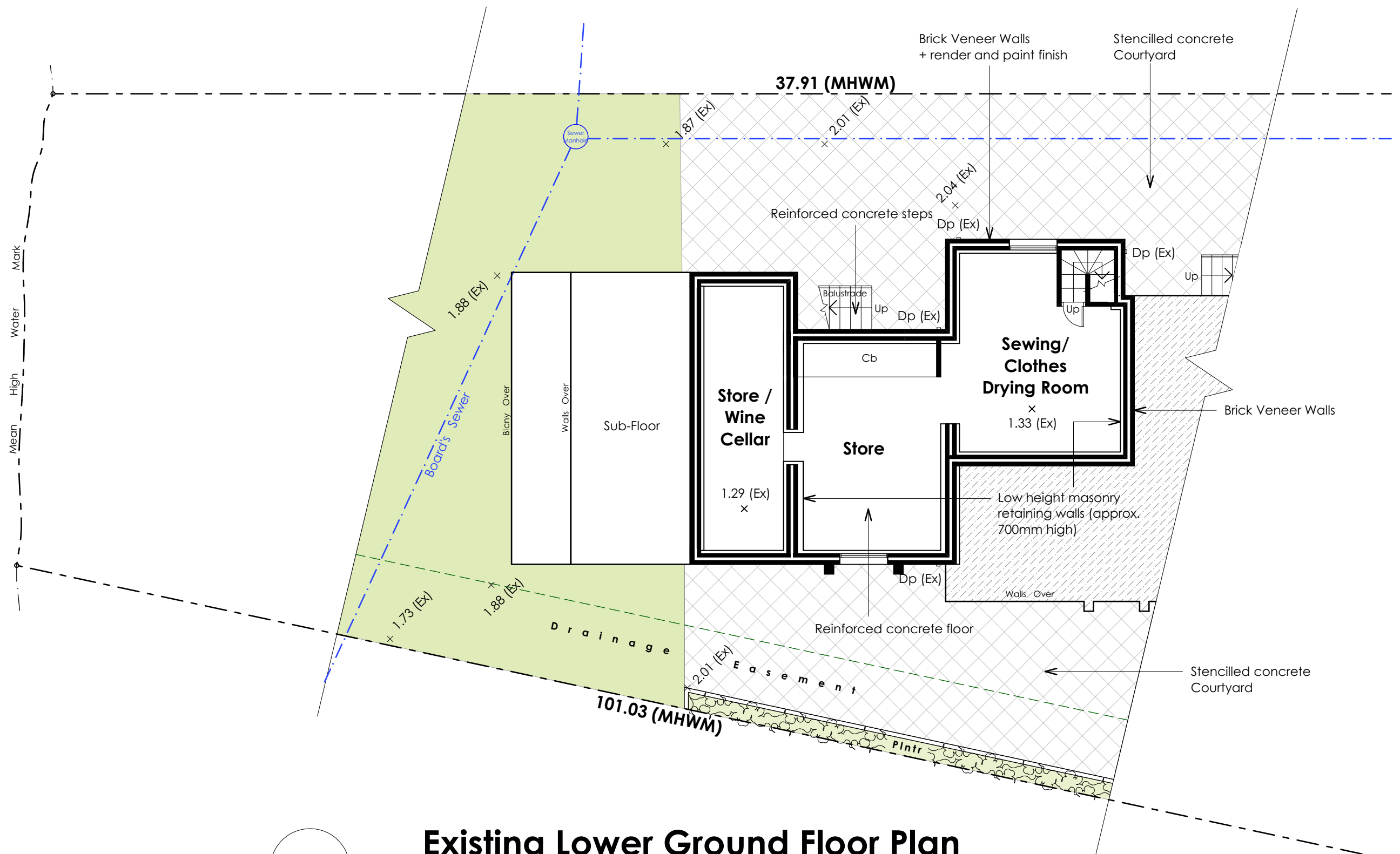
# Drawing Legend

(Ex) ×	Existing ground/floor level	FCE	Fibre cement eaves lining	MSS	Metal slatted screening	Sp	Spitter pipe
⦿	Proposed ground/floor level	FCL	Fibre cement lining	MWC	Metal wall cladding	SP	Set plaster
AC	Air-conditioning units	Fp	Fireplace	OFC	Off-form concrete	SS	Structural steel
AL	Alignment levels to Council's requirements	FP	Facade panelling	OMF	Open metal fencing	St	Sandstone facing
AR	Acrylic render	Fr	Refrigerator	Pan	Panelled ceiling suspended	Ste	Steps in reinforced concrete
AW	Aluminium window and door units	FrP	Framed parapet construction	Pav	Paving	STC	Steel trowelled concrete
BF	Block fencing	FRW	Fire rated window	Pb	Plasterboard lining	StD	Strip drain
BiS	Box in services	FT	Floor tiling	PbC	Plasterboard ceiling	Sub	Sub-soil drainage
Br	Brick up opening	FW	Floor waste	PbS	Plasterboard ceiling suspended	SuP	Suspended masonry parapets
BrW	Brick interior walls	GB	Glass balustrade	PCP	Precast concrete panels	TB	Timber-framed balustrade
BV	Brick veneer walls	GD	Garage door	PCS	Pigmented concrete surface with tooled jointing	TC	Timber Ceiling in WRC
Cb	Cupboard	GHW	Gas hot water unit	PF	Pool safety barriers	TD	Treated timber decking
CBI	Concrete block walls	GL	Ground line	Pit	Silt arrestor pit	TEW	Timber-framed exterior walls
CBW	Cavity brick walls	GP	Gas point	Plt	Concrete planters	TF	Timber fascia/barge boards
CD	Concrete driveway	GR	Glass roof	PT	Polished timber flooring	TFC	Selected tiling over FC
CF	Colorbond fascia/barge boards	GRG	Glass roof with gutter	PW	Pump well	TFF	Timber floor framing
CG	Colour-backed glass	GS	Glass shopfront	QG	Quad guttering	TG	Translucent glass
Ch	Chute	GT	Garden tap	ReC	Remove crossing	TiP	Timber pitched roof construction
CH	Concrete hob	GW	Garden walls in masonry	RB	Roofing blanket	TiS	Timber skillion roof construction
Cpt	Carpetted floor finish	HG	Half-round guttering	RBF	Rendered brick fencing	TiW	Timber-framed interior walls
Cr	Crossing for driveway	Hx	HardiTex cladding	RCC	Reinforced concrete construction	TOW	Top of wall level
CR	Cement render	Ins	Insulation	RCF	Reinforced concrete floor	TP	Timber pergola
CRW	Concrete roof with proprietary waterproofing	Let	Letterbox unit	RCS	Concrete stair	TS	Timber stair
CS	Concrete soffit (off the form).	LG	Louvred glass windows	RD	Roller door	TSS	Timber slatted screening
CTS	Composite timber slats	MaP	Masonry parapet walls	RT	Roof tiling	TW	Timber window and door units
Dp	Downpipe	MeT	Metal framing exposed	RTE	Roof tiling extend	Vb	Villaboard lining
Dr	Drain point	MEW	Metal-framed exterior walls	RW	Retaining walls	VJ	Form V-joint
EA	Exposed aggregate concrete	MF	Masonry fencing	RwH	Rainwater head	Wb	Weatherboard cladding
Exc	Excavation and shoring	MFB	Metal-framed balustrade	RwT	Rainwater tank	WFC	Wood floated concrete finish
ExM	Exposed metal roof framing	MFR	Masonry fencing rendered	SC	Steel channel exposed	Wp	Waterproof membrane
FB	Face brickwork	MIW	Metal-framed interior walls	SD	Smoke detector	Wr	Wardrobe cupboard
FBI	Face blockwork	ML	Metal louvres	SF	Selected floor finish	WSP	White set plaster surface finish
FC	Fibre cement lining cladding with Paint finish.	MR	Metal roofing	Sh	Shaft for services	WT	Wall Tiling
FCC	Fibre cement ceiling	MRC	Metal roof construction	Sk	Skylights		
		MS	Metal Sunscreen				



Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																		
Rainwater tank																					
The applicant must install a rainwater tank of at least 2275 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓																		
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.		✓	✓																		
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓																		
Outdoor swimming pool																					
The swimming pool must be outdoors.	✓	✓	✓																		
The swimming pool must not have a capacity greater than 18 kilolitres.	✓	✓	✓																		
The applicant must install a pool pump timer for the swimming pool.		✓	✓																		
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓																		
Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																		
Lighting																					
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓																		
Fixtures																					
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓																		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓																		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓																			
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																		
Insulation requirements																					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓																		
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>concrete slab on ground floor.</td><td>nil</td><td>N/A</td></tr><tr><td>suspended floor with open subfloor: framed (R0.7).</td><td>R0.8 (down) (or R1.50 including construction)</td><td>N/A</td></tr><tr><td>external wall: brick veneer</td><td>R1.16 (or R1.70 including construction)</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>flat ceiling, pitched roof</td><td>ceiling: R1.95 (up), roof: foil backed blanket (55 mm)</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>				Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor.	nil	N/A	suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A	external wall: brick veneer	R1.16 (or R1.70 including construction)		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)
Construction	Additional insulation required (R-value)	Other specifications																			
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flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)																			
Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																		
Windows and glazed doors																					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓																		
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓																		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓																		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓																		
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓																		

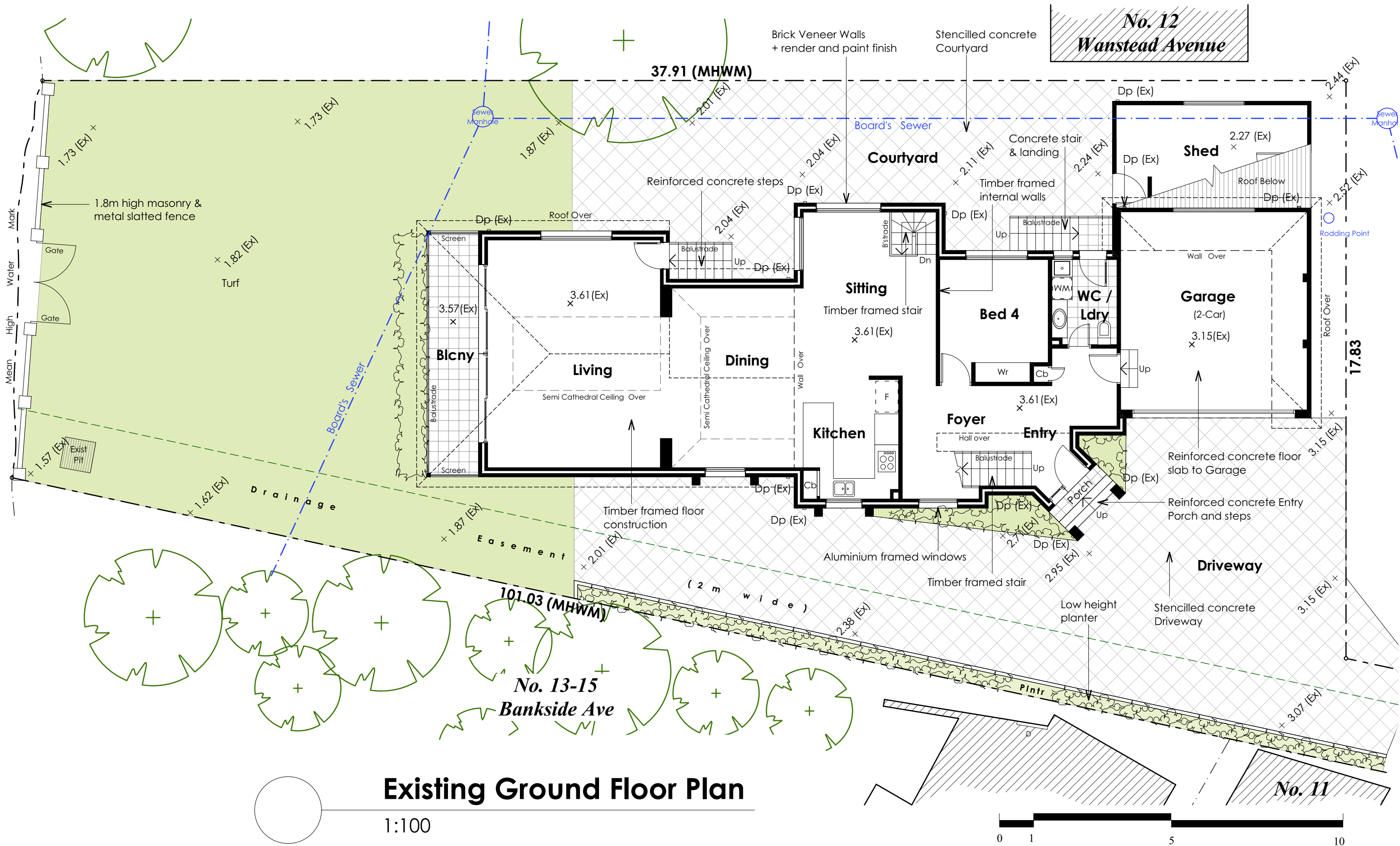
Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
WG-01	S	1.13	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG-12	NE	0.66	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG-06	NE	0.66	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
DG-03	NE	1.91	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG-07	NE	2.25	0	0	projection/ height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
WG-09	NE	0.93	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WF-03	NW	0.54	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WF-04	NW	2	0	0	projection/ height above sill ratio >=0.36	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
WF-05	NE	1.1	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WF-08	NE	1.1	0	0	projection/ height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.							✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:								✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✓	✓
Skylights glazing requirements									
Skylight number		Area of glazing inc. frame (m2)	Shading device		Frame and glass type				
STAIRS		0.8	no shading		aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				



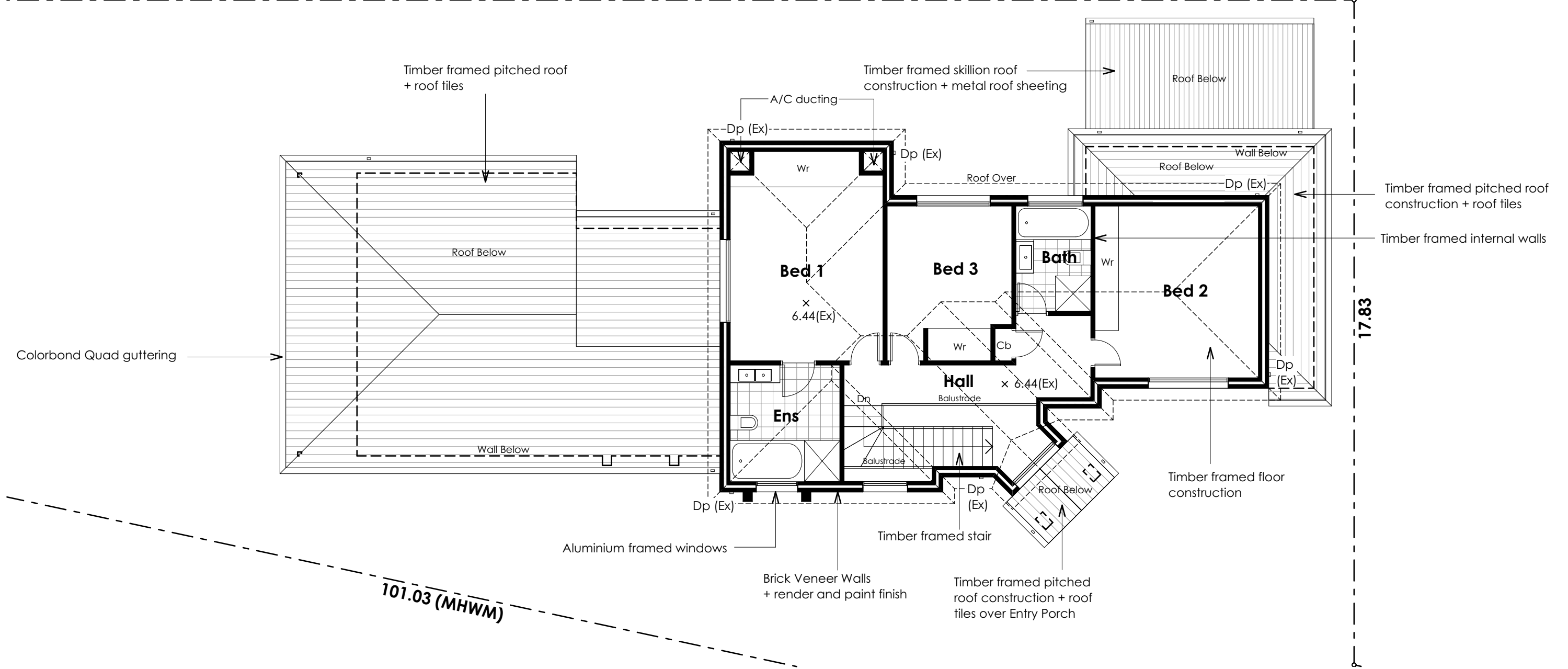
## Existing Lower Ground Floor Plan

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37.91 (MHW)

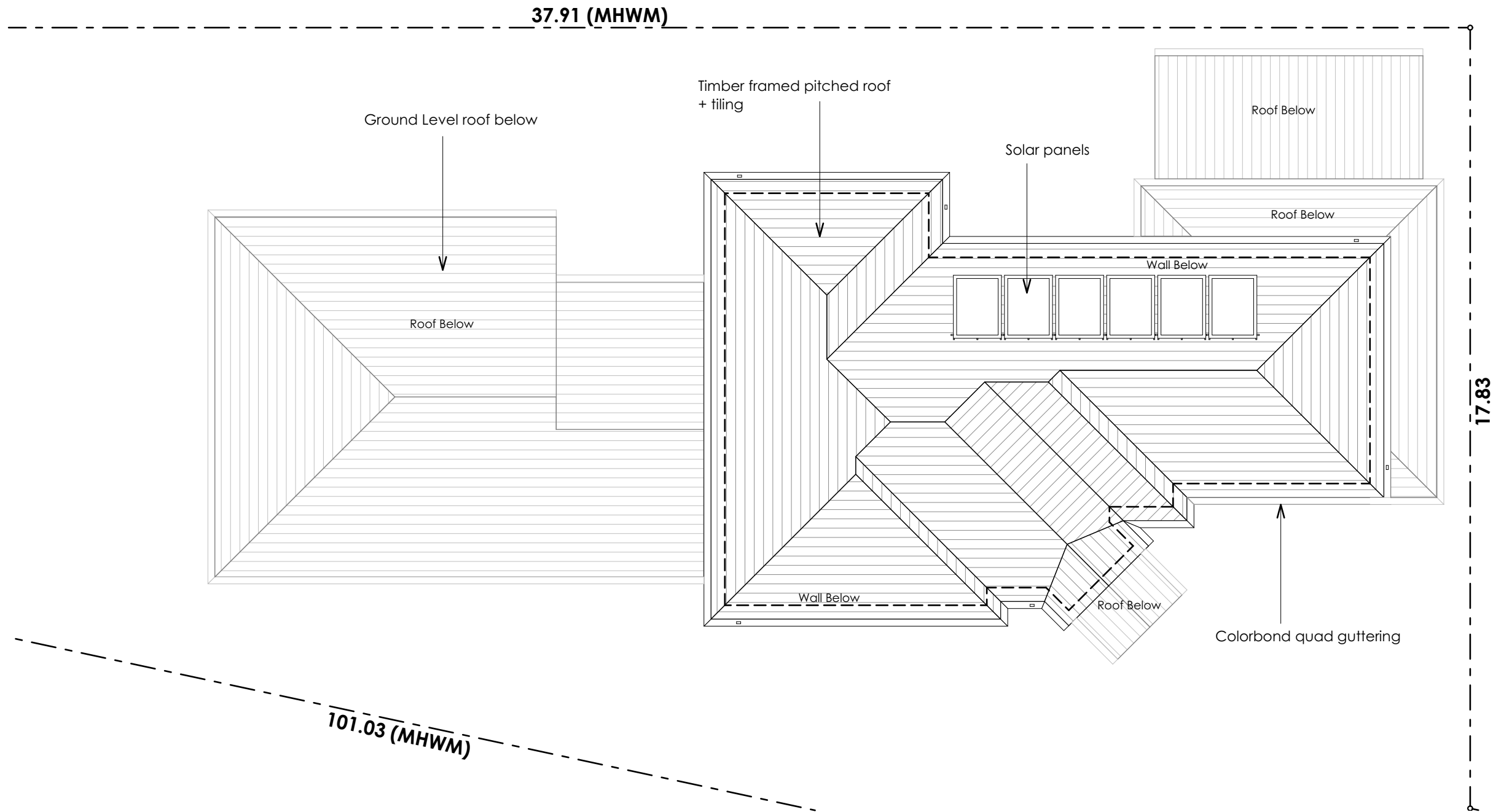


# Existing First Floor Plan

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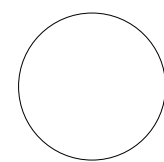
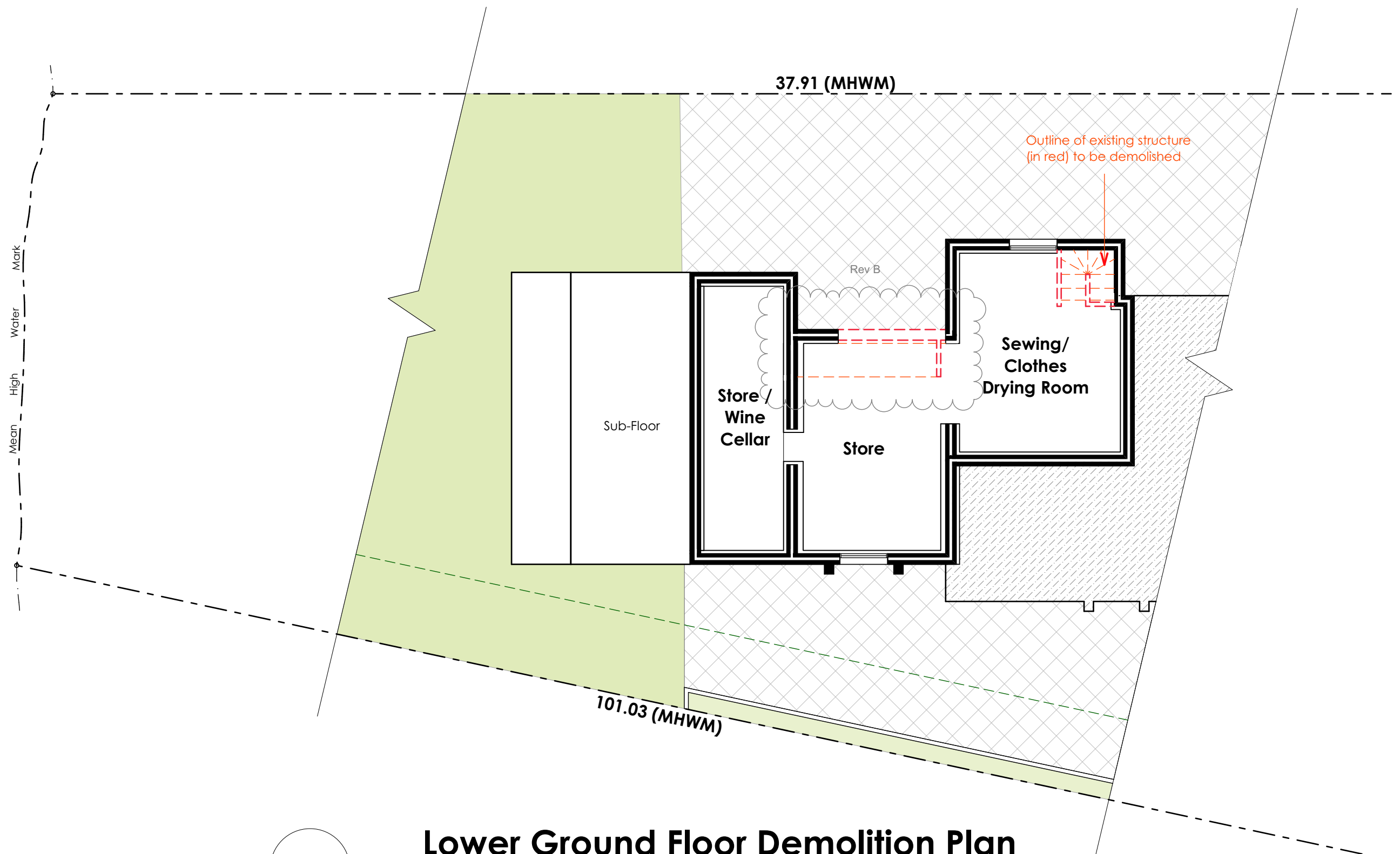




# Existing Roof Plan

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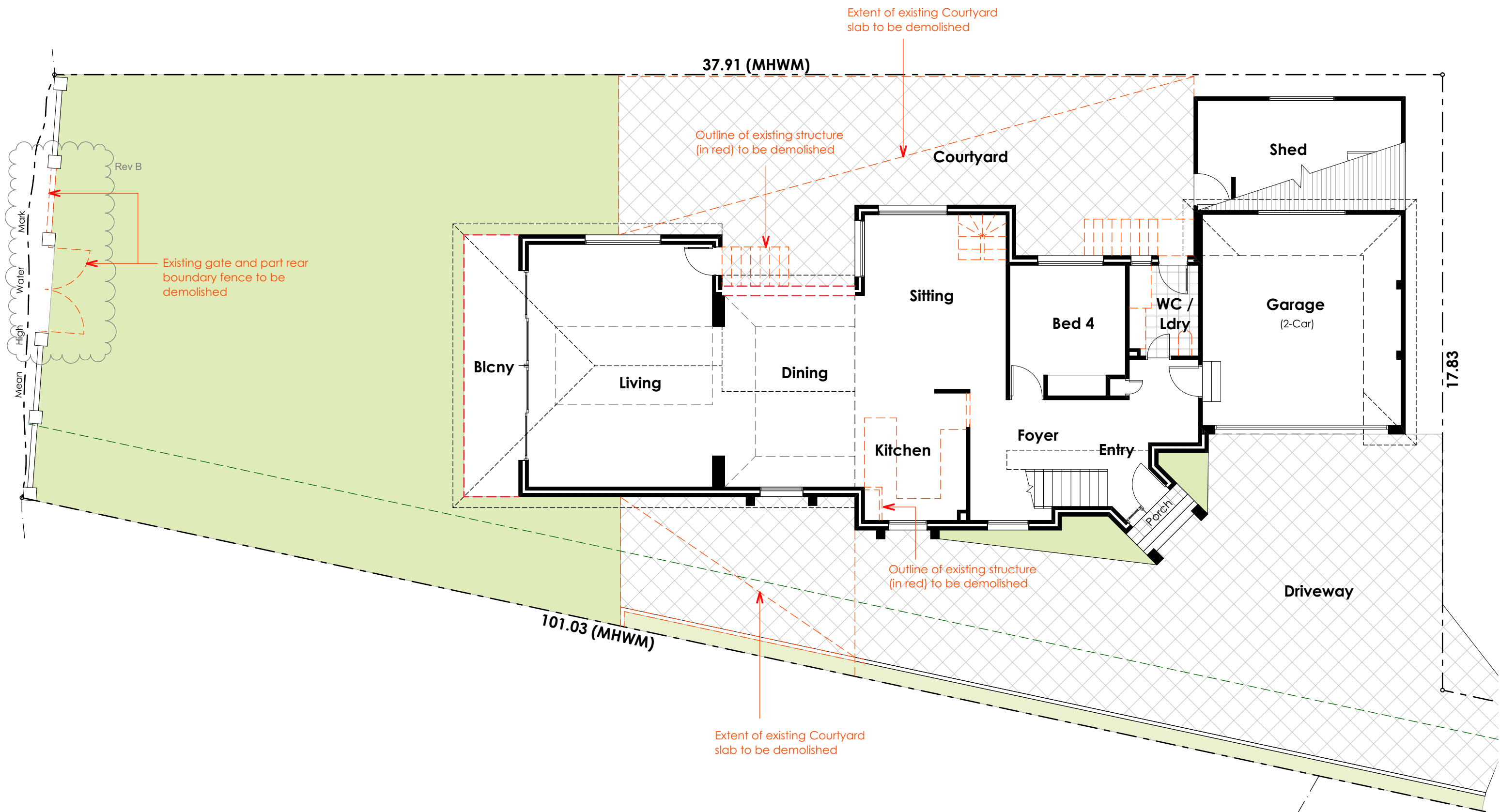


## Lower Ground Floor Demolition Plan

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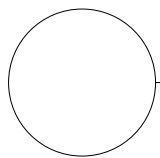
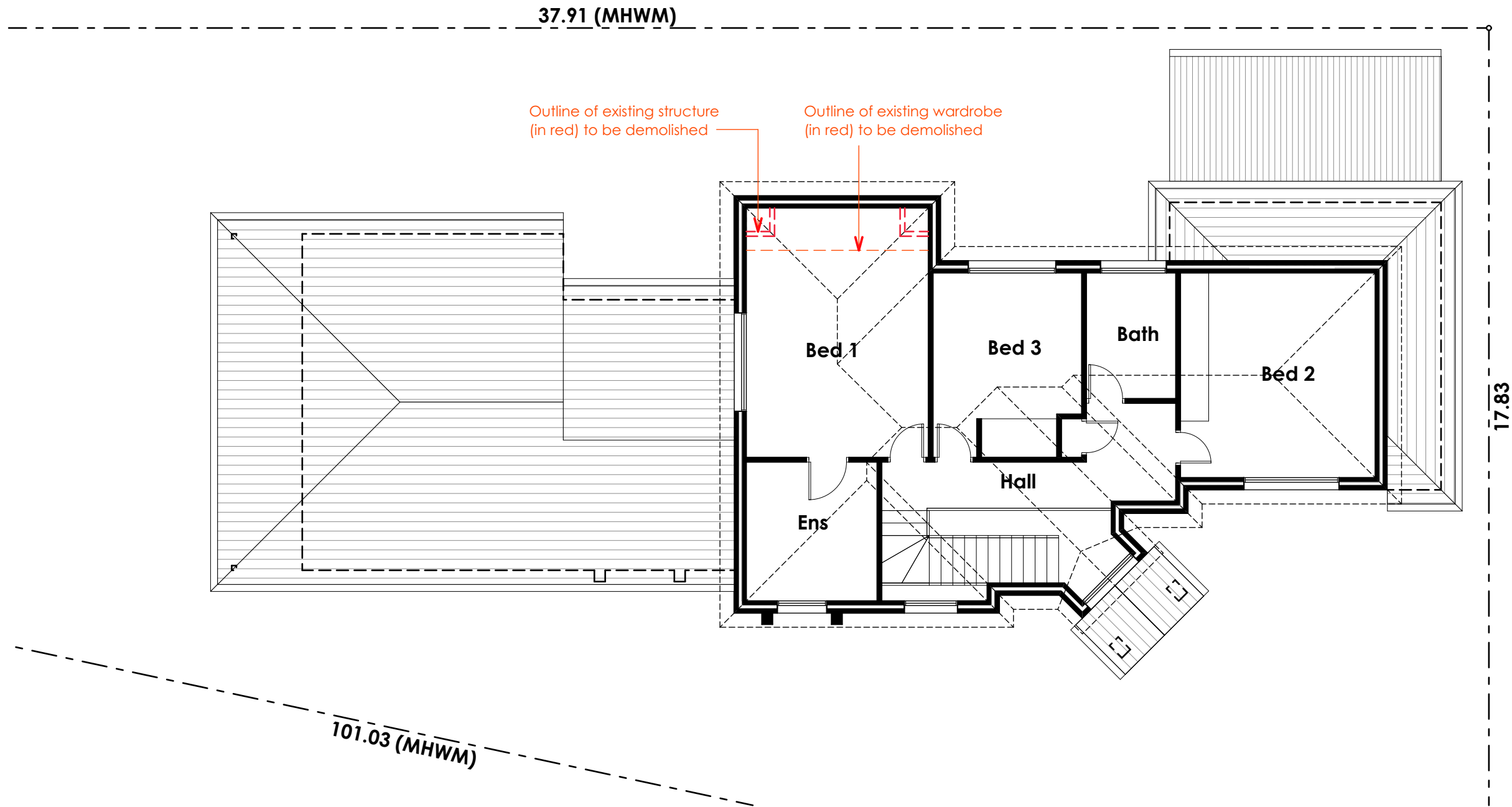




## Ground Floor Demolition Plan

1:100





First Floor Demolition Plan

1:100



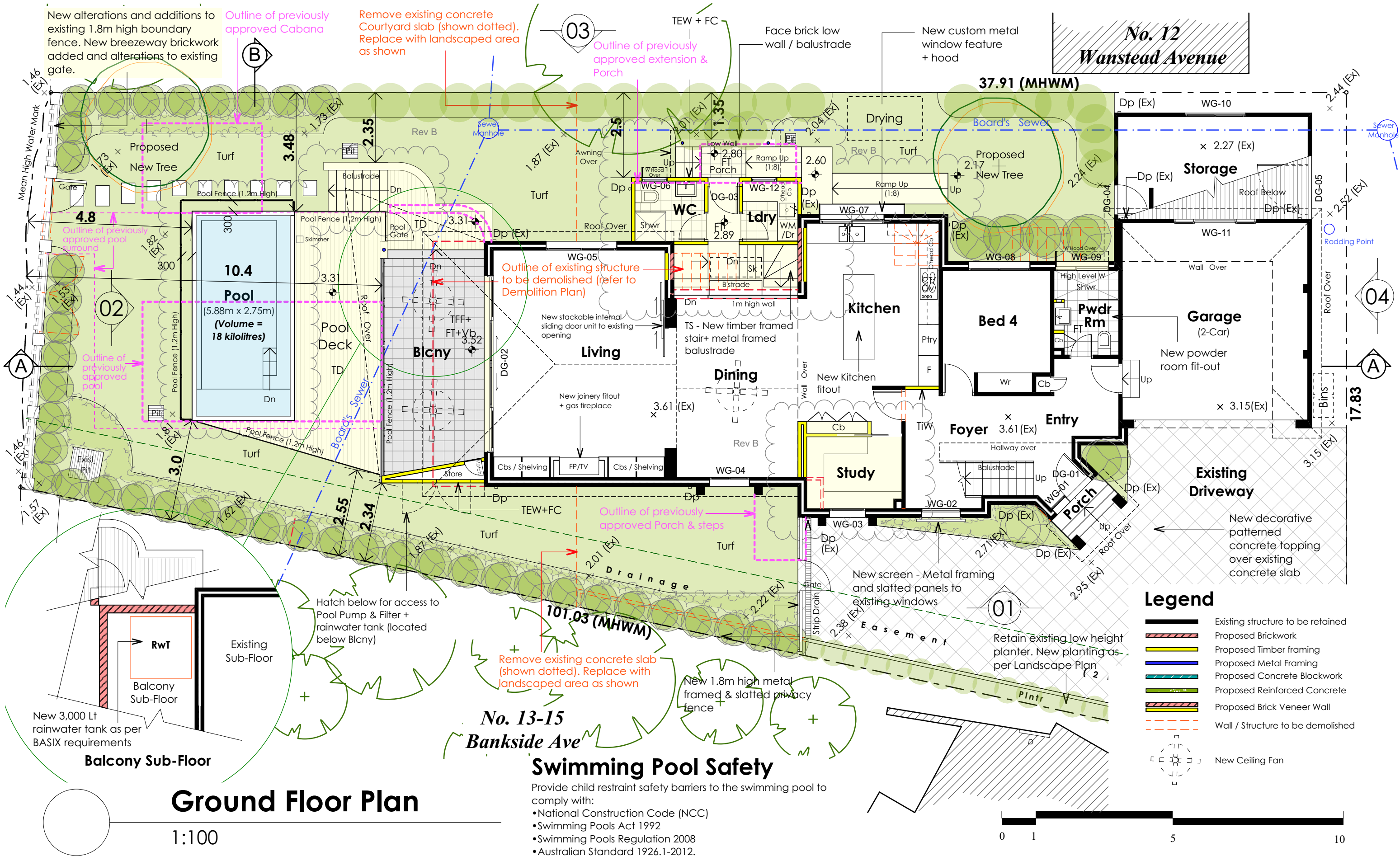
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web: studio3dq.com.au  
architect: Sandy Martikas (Registration No: 9783)

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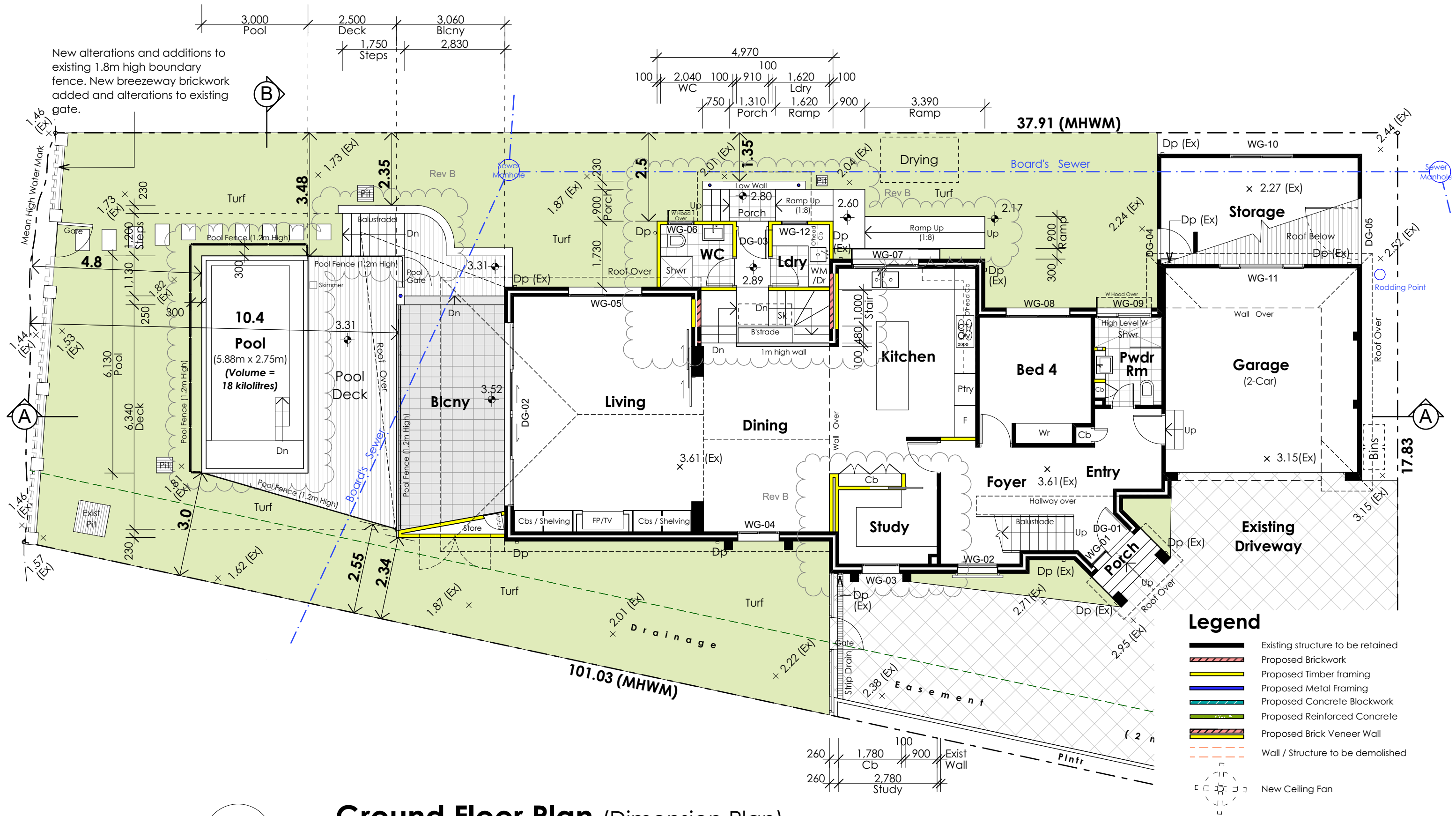
<div>Client</div> <div>Michael Smith &amp; Patricia Ryan</div>	<div>DESIGN INTENT DOCUMENTS FOR COUNCIL (DA)</div>	<div>Title</div> <div>First Floor Demolition Plan</div>																					
<div>Consultants</div> <div>John Romanous &amp; Assoc (Stormwater) Building &amp; Energy Consultants (BASIX) Zenith Landscape Designs (Landscaping) Consulting Earth Scientists (Acid Sulfate Soils)</div>	<div>Project</div> <div>Proposed New swimming pool &amp; Alterations and Additions to an existing dwelling at 8b Wanstead Avenue Earlwood</div>	<table><tr><th>Rev. #</th><th>Description</th><th></th></tr><tr><td>A</td><td>Council requested amendments</td><td>Oct' 24</td></tr><tr><td>B</td><td>\$4.55 (1a) Modification</td><td>Mar' 25</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table> <div>Date</div> <div>Jul '24</div> <div>Job No.</div> <div>J02-23</div> <div>Scale</div> <div>1:100 @ A3</div> <div>Dwg No.</div> <div>A-12</div> <div>Revision</div> <div>B</div>	Rev. #	Description		A	Council requested amendments	Oct' 24	B	\$4.55 (1a) Modification	Mar' 25												
Rev. #	Description																						
A	Council requested amendments	Oct' 24																					
B	\$4.55 (1a) Modification	Mar' 25																					





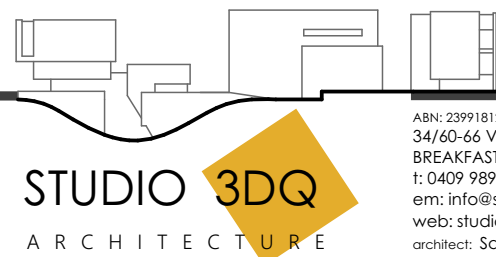






## Ground Floor Plan (Dimension Plan)

1:100



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architect: Sandy Martikas (Registration No: 9783)

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**Client**  
Michael Smith & Patricia Ryan

**Consultants**  
John Romanous & Assoc (Stormwater)  
Building & Energy Consultants (BASIX)  
Zenith Landscape Designs (Landscaping)  
Consulting Earth Scientists  
(Acid Sulfate Soils)

### DESIGN INTENT DOCUMENTS FOR COUNCIL (DA)

**Project**  
Proposed New swimming pool & Alterations and Additions to an existing dwelling at  
8b Wanstead Avenue Earwood

Rev. #	Description
A	Council requested amendments Oct' 24
B	\$4.55 (1a) Modification Mar' 25

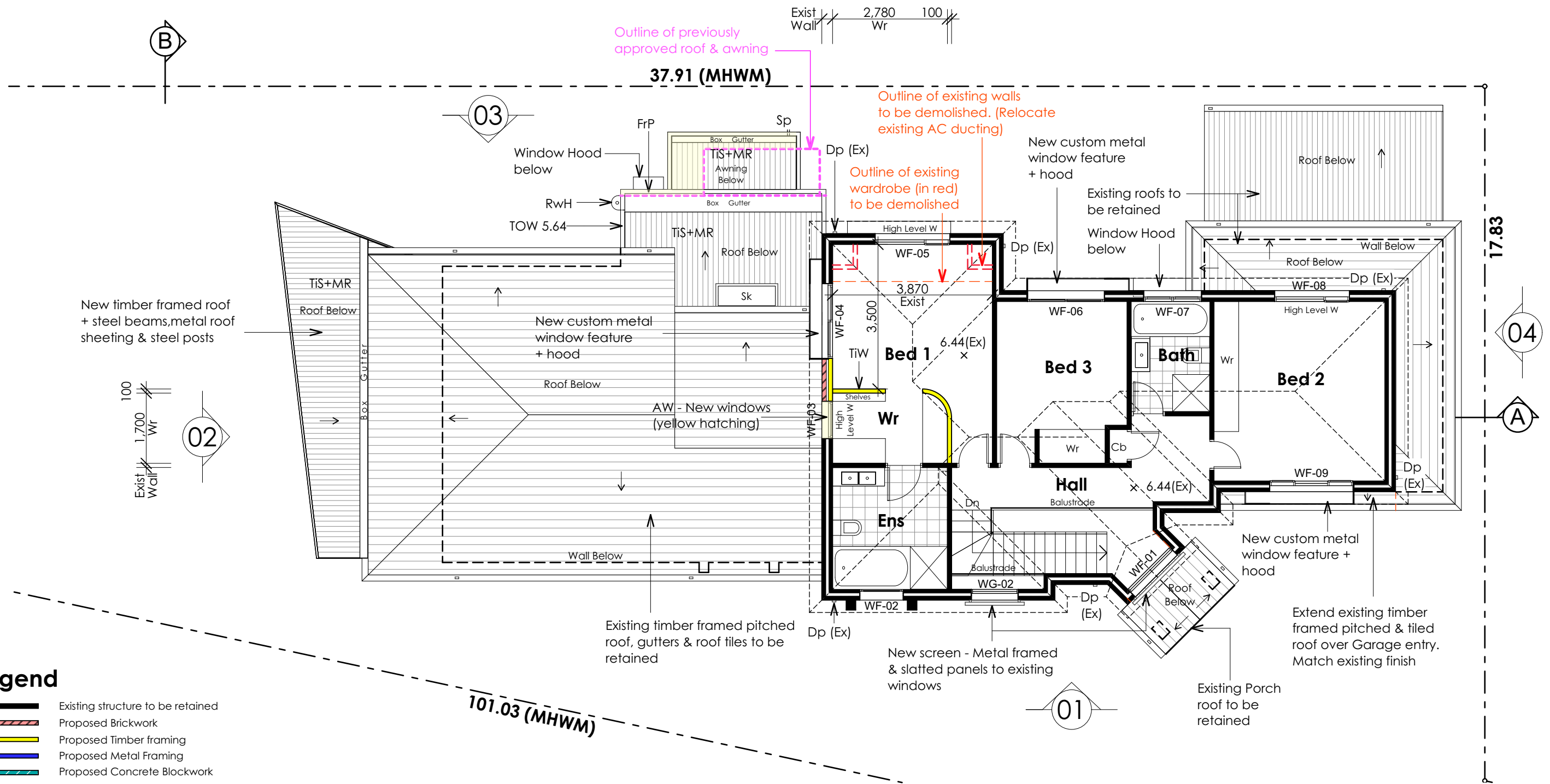
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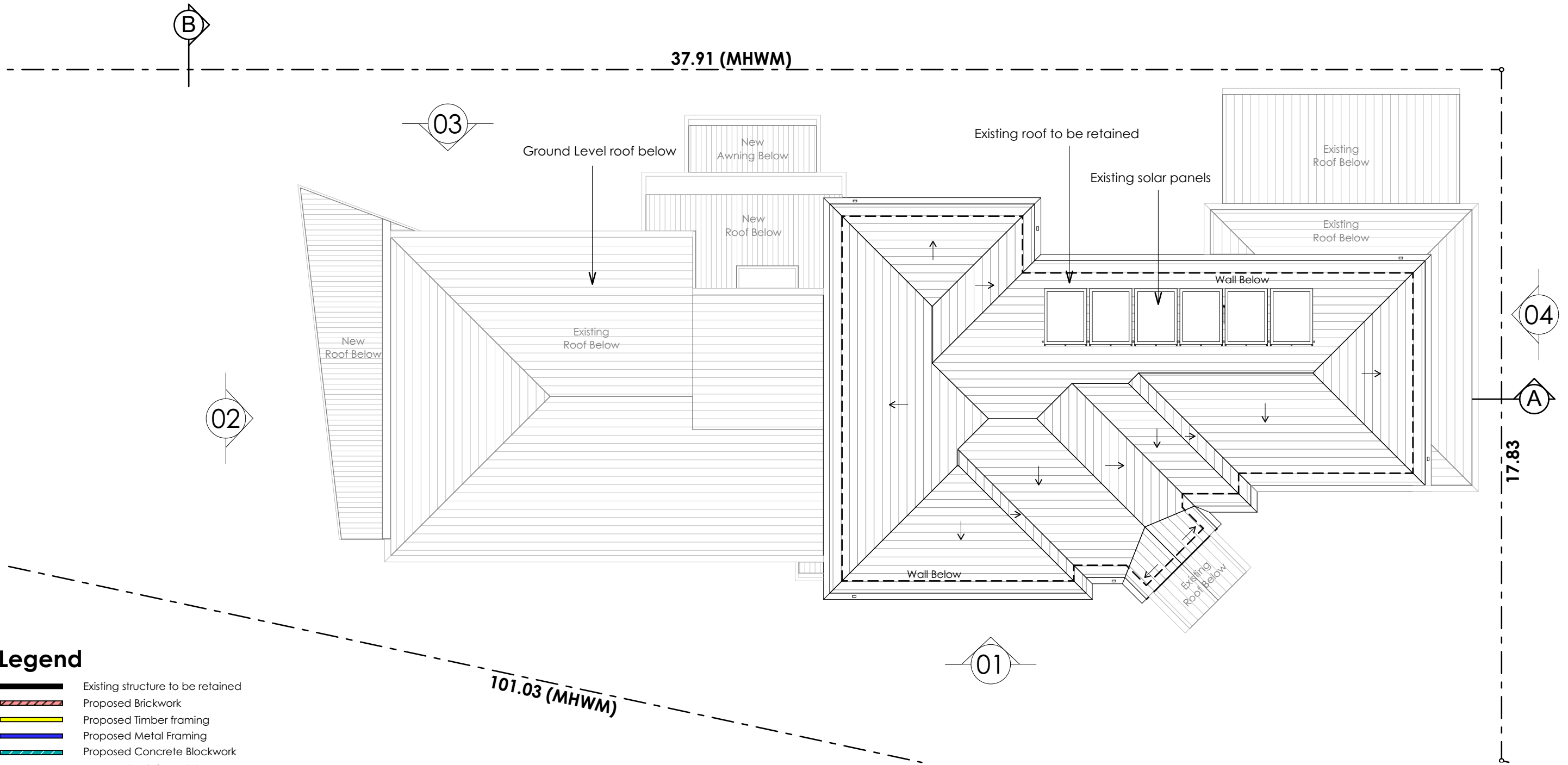
**Date**  
Jul '24

**Scale**  
1:100 @ A3

**Job No.**  
J02-23

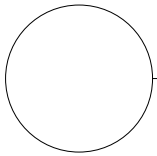
**Dwg No. Revision**  
A-15 B





**Legend**

- Existing structure to be retained
- Proposed Brickwork
- Proposed Timber framing
- Proposed Metal Framing
- Proposed Concrete Blockwork
- Proposed Reinforced Concrete
- Proposed Brick Veneer Wall
- Wall / Structure to be demolished
- New Ceiling Fan



**Roof Plan**  
1:100



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(Acid Sulfate Soils)

**DESIGN INTENT DOCUMENTS FOR COUNCIL (DA)**

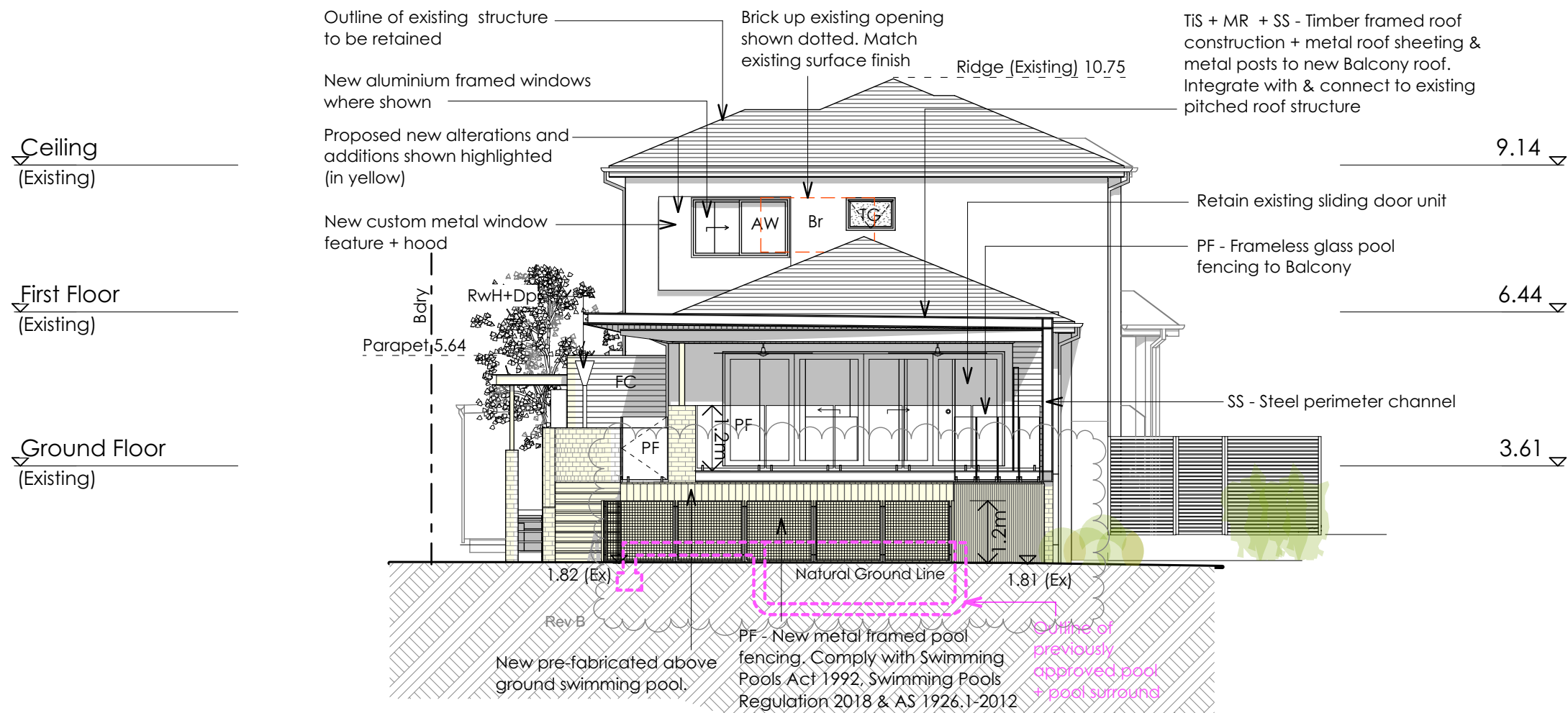
**Project**  
Proposed New swimming pool & Alterations and Additions to an existing dwelling at  
8b Wanstead Avenue Earlowood

Rev. #	Description	
A	Council requested amendments	Oct' 24
B	\$4.55 (1a) Modification	Mar' 25

Title		Job No.
Roof Plan		J02-23
Date	Jul '24	
Scale	1:100 @ A3	
Dwg No.	A-17	Revision B







## North-west Elevation

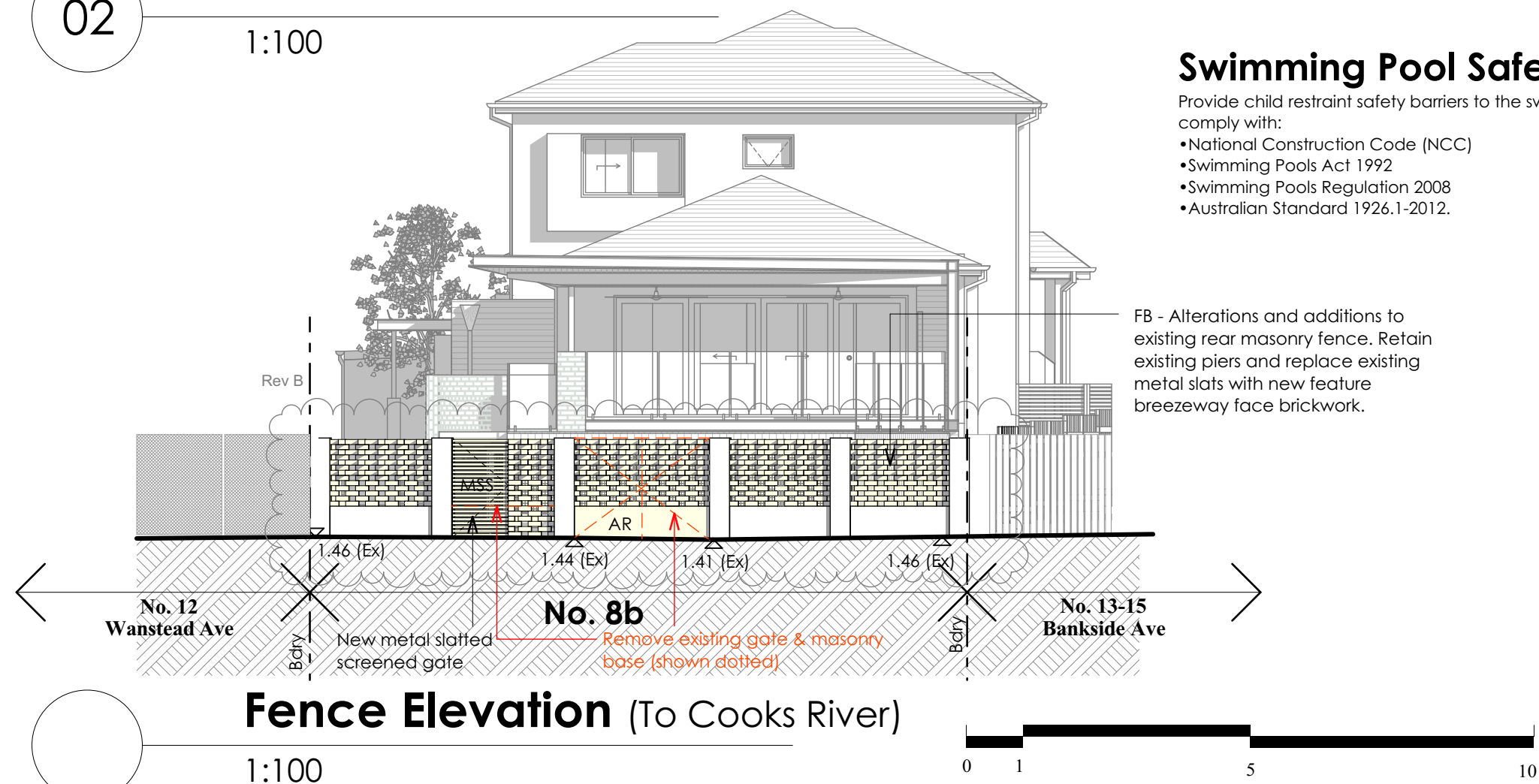
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02

## Swimming Pool Safety

Provide child restraint safety barriers to the swimming pool to comply with:

- National Construction Code (NCC)
- Swimming Pools Act 1992
- Swimming Pools Regulation 2008
- Australian Standard 1926.1-2012.



## Fence Elevation (To Cooks River)

1:100

0 1 5 10

**Client**  
Michael Smith & Patricia Ryan

**Consultants**  
John Romanous & Assoc (Stormwater)  
Building & Energy Consultants (BASIX)  
Zenith Landscape Designs (Landscaping)  
Consulting Earth Scientists  
(Acid Sulfate Soils)

## DESIGN INTENT DOCUMENTS FOR COUNCIL (DA)

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**Project**  
Proposed New swimming pool  
& Alterations and Additions to  
an existing dwelling at  
8b Wanstead Avenue  
Earlwood

Rev. #	Description	Oct' 24
A	Council requested amendments	Oct' 24
B	\$4.55 [1a] Modification	Mar' 25

**Title**  
North-west Elevation

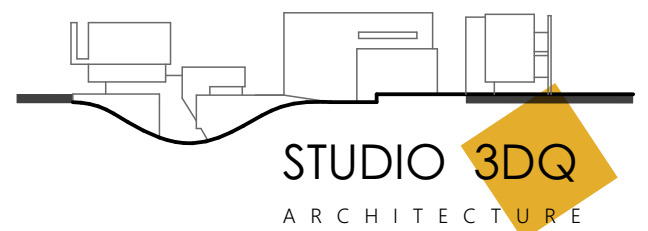
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Jul '24

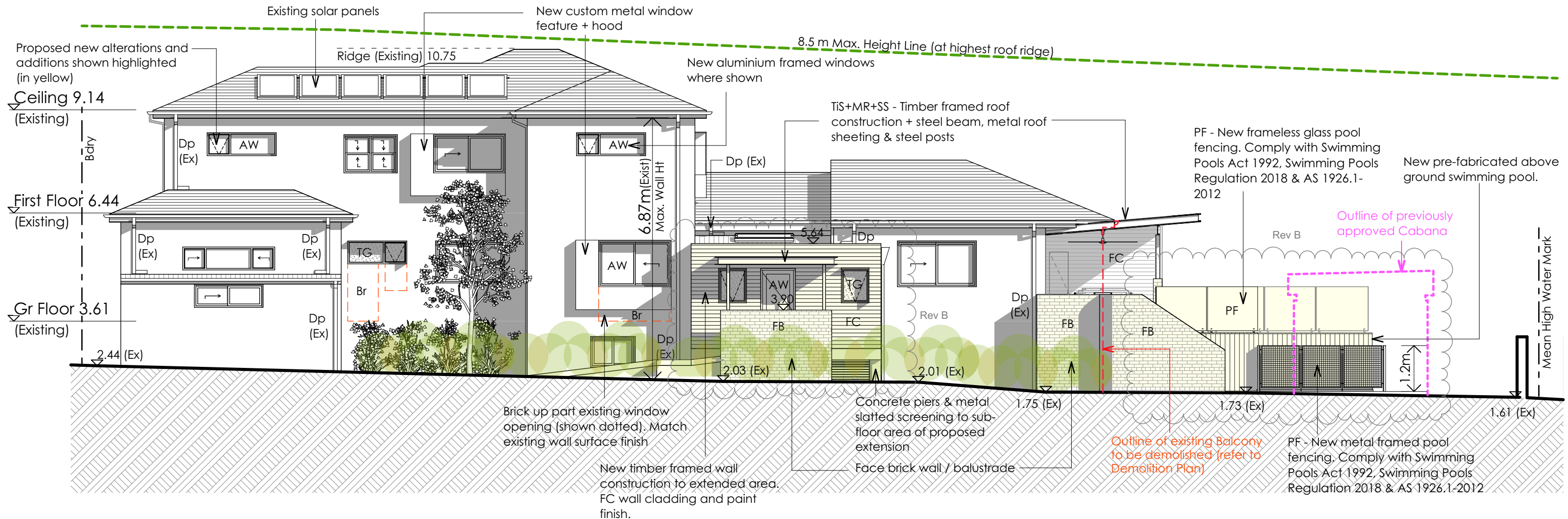
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J02-23

**Scale**  
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**Dwg No. Revision**  
A-19 B

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architect: Sandy Martikas (Registration No: 9783)





## Swimming Pool Safety

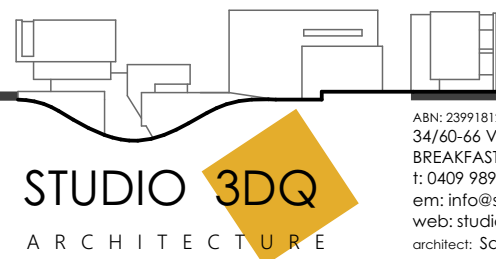
Provide child restraint safety barriers to the swimming pool to comply with:

- National Construction Code (NCC)
- Swimming Pools Act 1992
- Swimming Pools Regulation 2008
- Australian Standard 1926.1-2012.

03

## North-east Elevation

1:100



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(Acid Sulfate Soils)

### DESIGN INTENT DOCUMENTS FOR COUNCIL (DA)

**Project**  
Proposed New swimming pool & Alterations and Additions to an existing dwelling at  
8b Wanstead Avenue Earlowood

Rev. #	Description	Date
A	Council requested amendments	Oct' 24
B	\$4.55 (1a) Modification	Mar' 25

### Title North-east Elevation

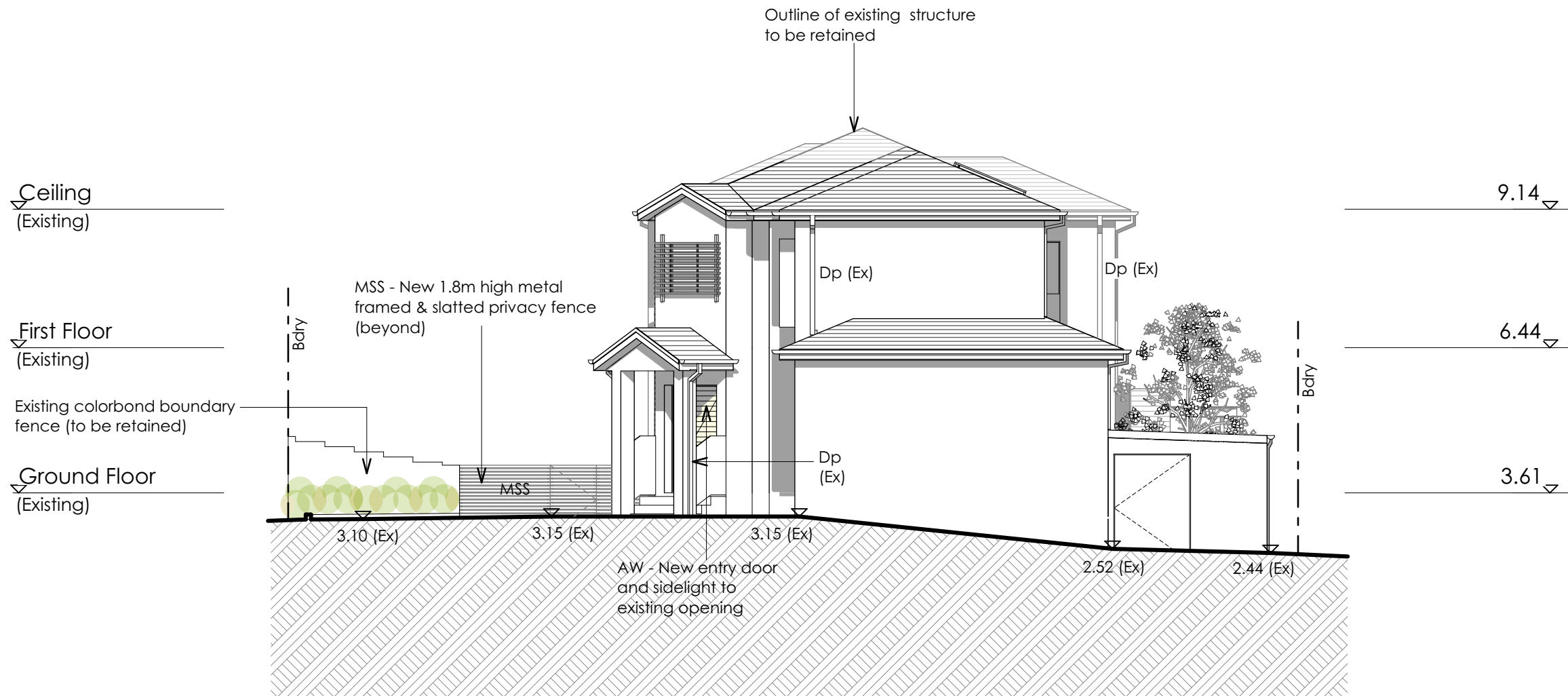
**Date**  
Jul '24

**Scale**  
1:100 @ A3

**Job No.**  
J02-23

**Dwg No. Revision**  
A-20 B





04

## South-east Elevation

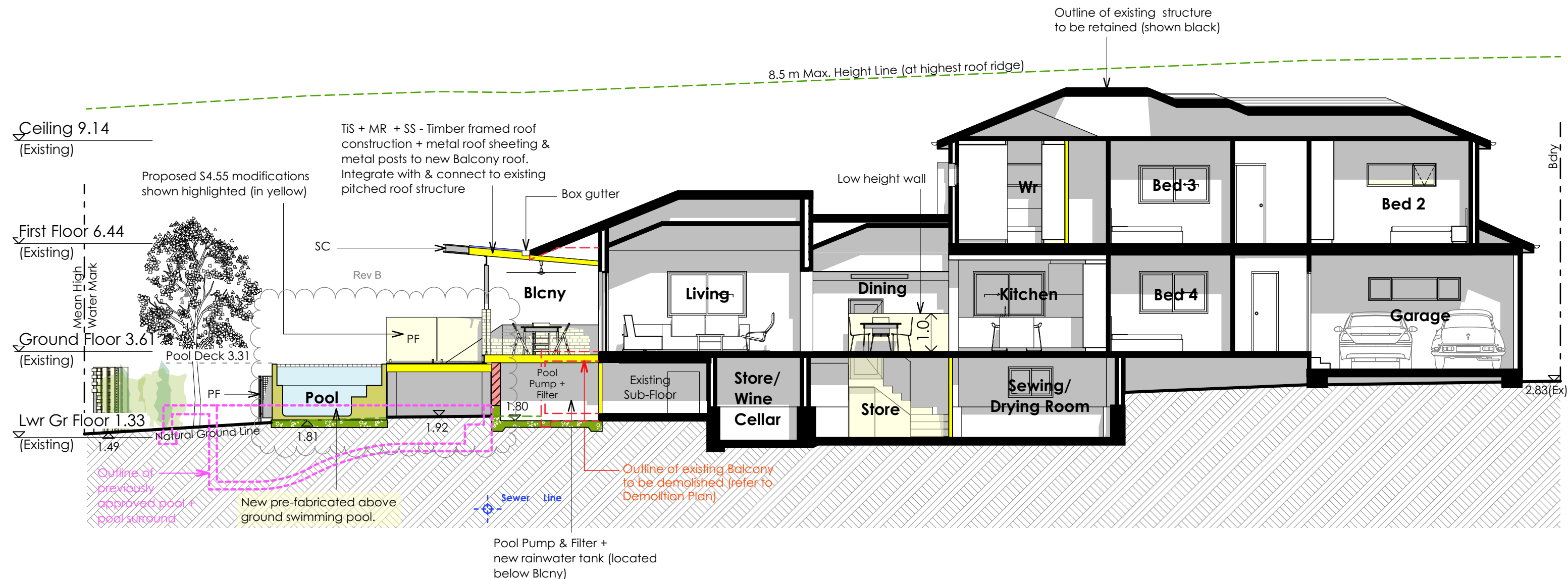
1:100



# Swimming Pool Safety

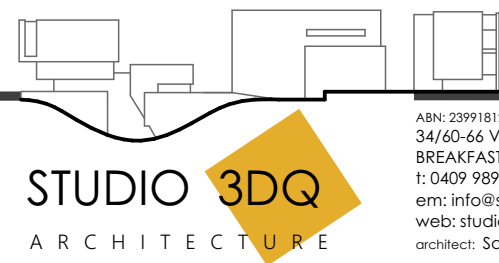
Provide child restraint safety barriers to the swimming pool to comply with:

- National Construction Code (NCC)
- Swimming Pools Act 1992
- Swimming Pools Regulation 2008
- Australian Standard 1926.1-2012.



## Section A

1:100



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em: info@studio3dq.com.au  
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architect: Sandy Martikas (Registration No: 9783)

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**Client**  
Michael Smith & Patricia Ryan

**Consultants**  
John Romanous & Assoc (Stormwater)  
Building & Energy Consultants (BASIX)  
Zenith Landscape Designs (Landscaping)  
Consulting Earth Scientists  
(Acid Sulfate Soils)

### DESIGN INTENT DOCUMENTS FOR COUNCIL (DA)

**Project**  
Proposed New swimming pool & Alterations and Additions to an existing dwelling at  
8b Wanstead Avenue Earlwood

Rev. #	Description	Date
A	Council requested amendments	Oct' 24
B	\$4.55 (1a) Modification	Mar' 25

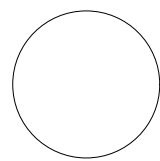
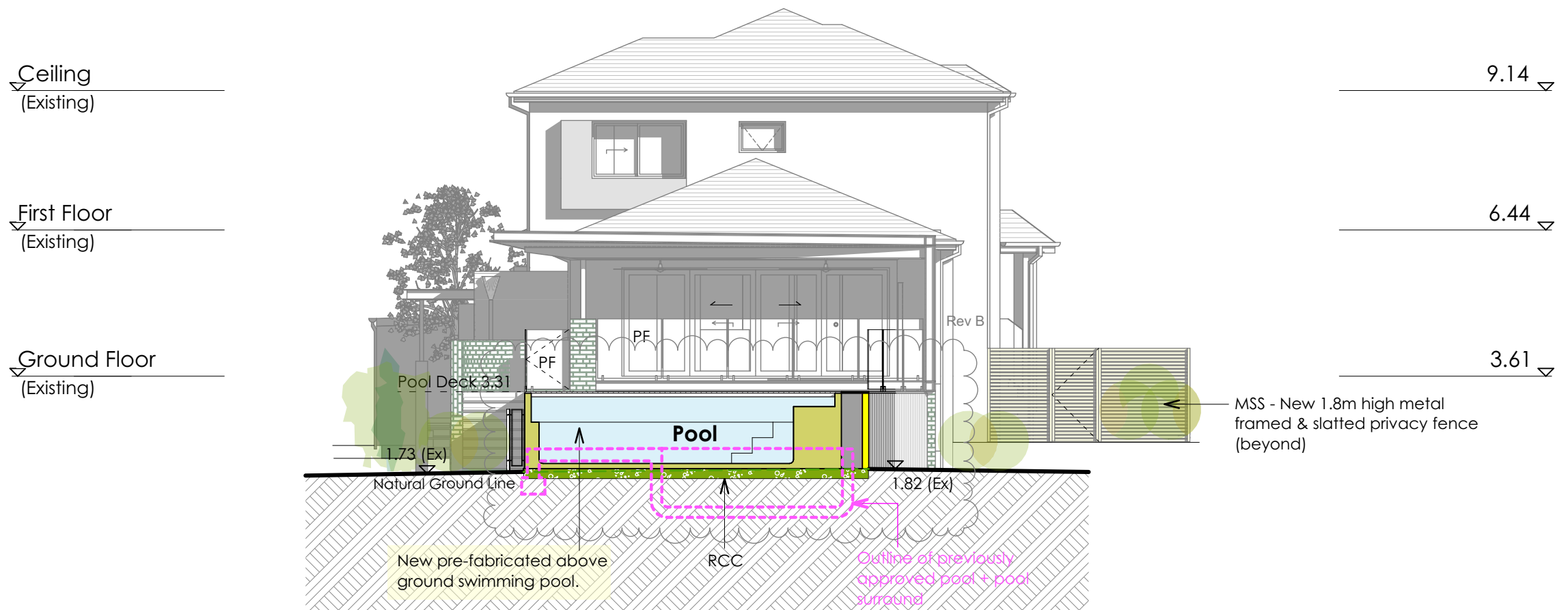
### Title Section A

**Date**  
Jul '24

**Scale**  
1:100 @ A3

**Job No.**  
J02-23

**Dwg No. Revision**  
A-22 B



## Section B

1:100

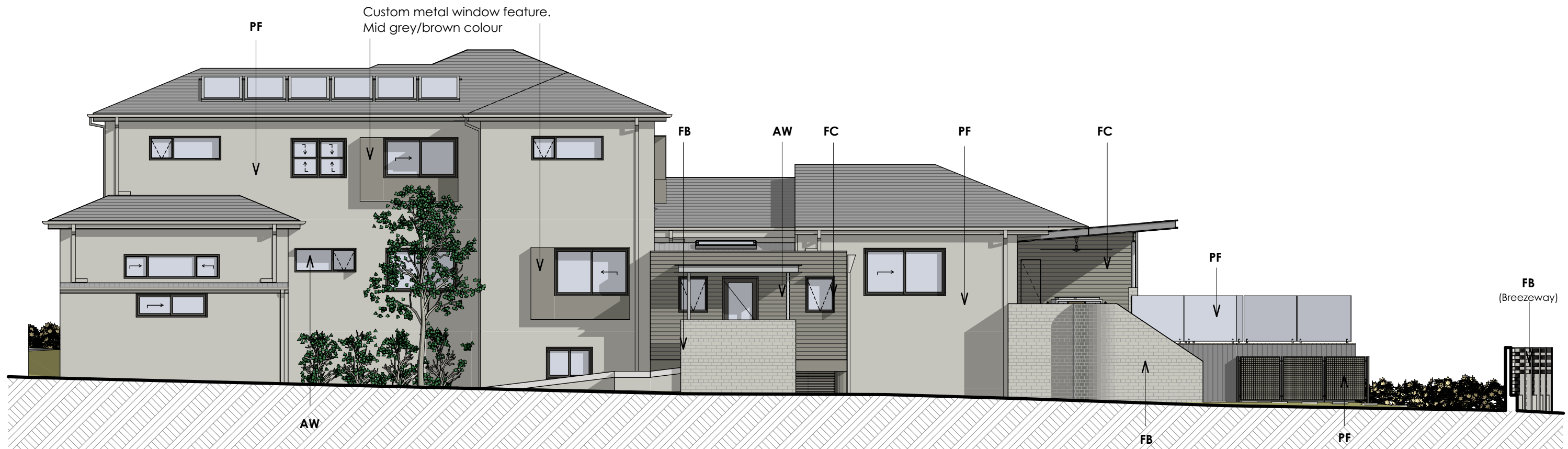
## Swimming Pool Safety

Provide child restraint safety barriers to the swimming pool to comply with:

- National Construction Code (NCC)
- Swimming Pools Act 1992
- Swimming Pools Regulation 2008
- Australian Standard 1926.1-2012.







## North-east Elevation

Rev B

**MR Metal Roofing**  
Corrugated metal roof sheeting  
in a selected profile

Light Grey colour



**PF - Paint Finish**  
Applied to existing and  
proposed rendered  
walls

Mid grey brown colour  
or similar



**AW - New Aluminium Windows  
+ doors**

Dark grey colour to match existing



**PF- Pool Fencing**  
Combination of metal framed mesh  
fencing with powder coated finish  
& frameless glass panels

Comply with Swimming  
Pools Act 1992, Swimming Pools  
Regulation 2018 & AS 1926.1-2012



**GD - Garage Door**  
Metal Panel Lift Garage door  
unit

Selected timber look finish



**FC - Fibre Cement Cladding**  
Fibre cement cladding in a  
selected horizontal profile over  
stud framing - Painted finish.

Dark brown/grey colour or  
similar

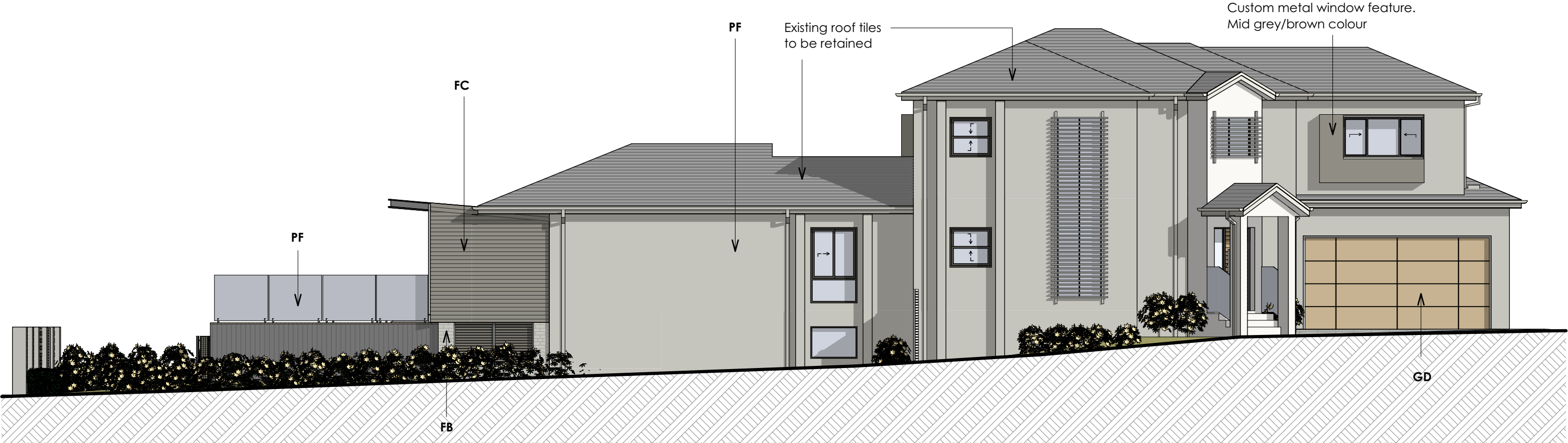


**FB - Face Brickwork**  
Smooth faced bricks.  
Feature/perforated patterns  
where shown

Off white colour or similar



## Schedule of External Finishes



South-west Elevation

MR Metal Roofing

Corrugated metal roof sheeting in a selected profile

Light Grey colour



PF - Paint Finish

Applied to existing and proposed rendered walls

Mid grey brown colour or similar



AW - New Aluminium Windows + doors

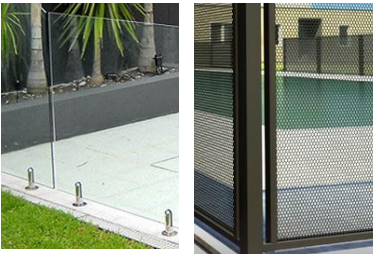
Dark grey colour to match existing



PF- Pool Fencing

Combination of metal framed mesh fencing with powder coated finish & frameless glass panels

Comply with Swimming Pools Act 1992, Swimming Pools Regulation 2018 & AS 1926.1-2012



GD - Garage Door

Metal Panel Lift Garage door unit

Selected timber look finish



FC - Fibre Cement Cladding

Fibre cement cladding in a selected horizontal profile over stud framing - Painted finish.

Dark brown/grey colour or similar



FB - Face Brickwork

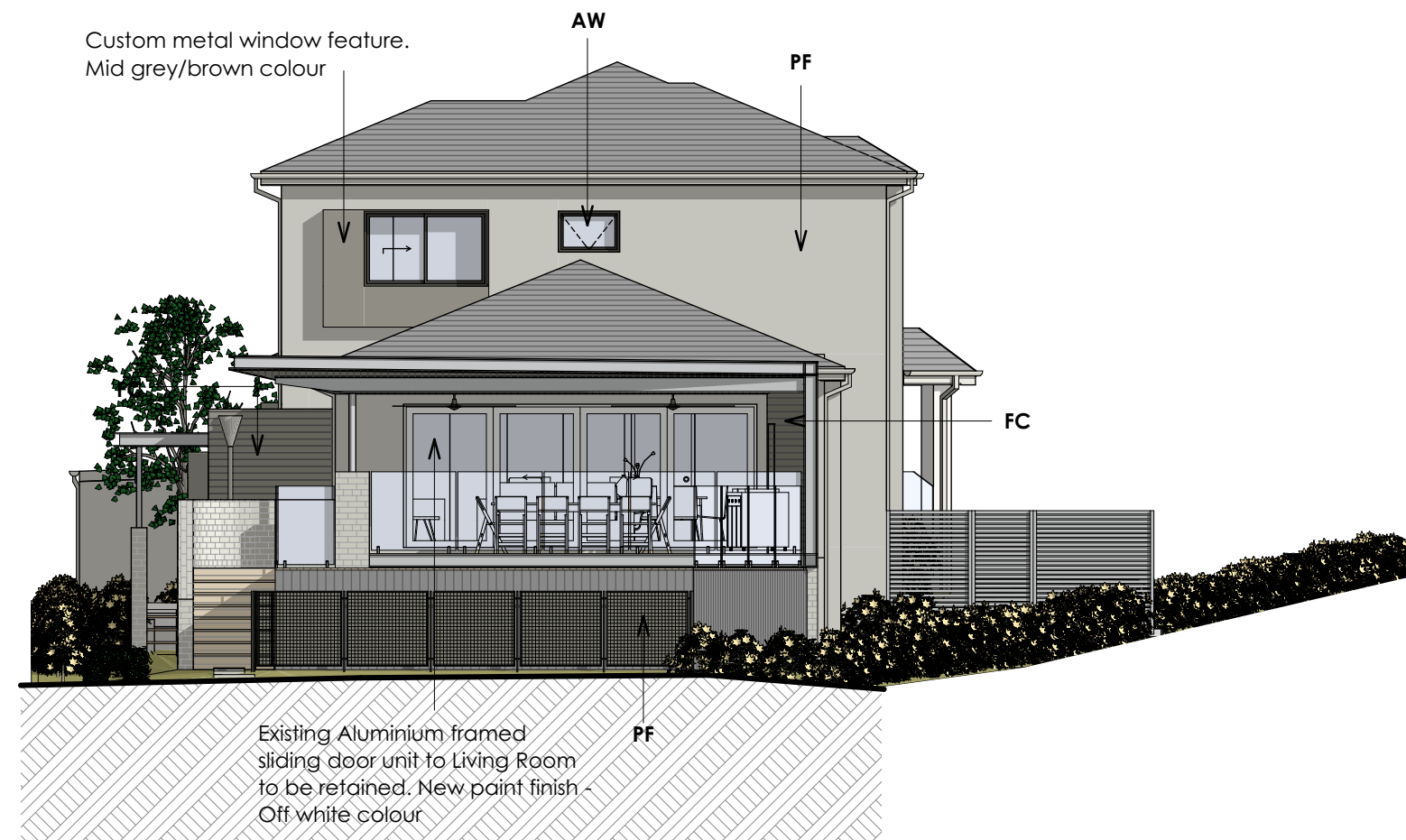
Smooth faced bricks. Feature/perforated patterns where shown

Off white colour or similar



Schedule of External Finishes





## North-west Elevation

### MR Metal Roofing

Corrugated metal roof sheeting in a selected profile

Light Grey colour



### PF - Paint Finish

Applied to existing and proposed rendered walls

Mid grey brown colour or similar



### AW - New Aluminium Windows ± doors

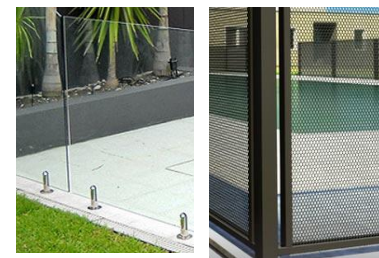
Dark grey colour to match existing



### PF- Pool Fencing

Combination of metal framed mesh fencing with powder coated finish & frameless glass panels

Comply with Swimming Pools Act 1992, Swimming Pools Regulation 2018 & AS 1926.1-2012



### GD - Garage Door

Metal Panel Lift Garage door unit

Selected timber look finish



### FC - Fibre Cement Cladding

Fibre cement cladding in a selected horizontal profile over stud framing - Painted finish.

Dark brown/grey colour or similar



### FB - Face Brickwork

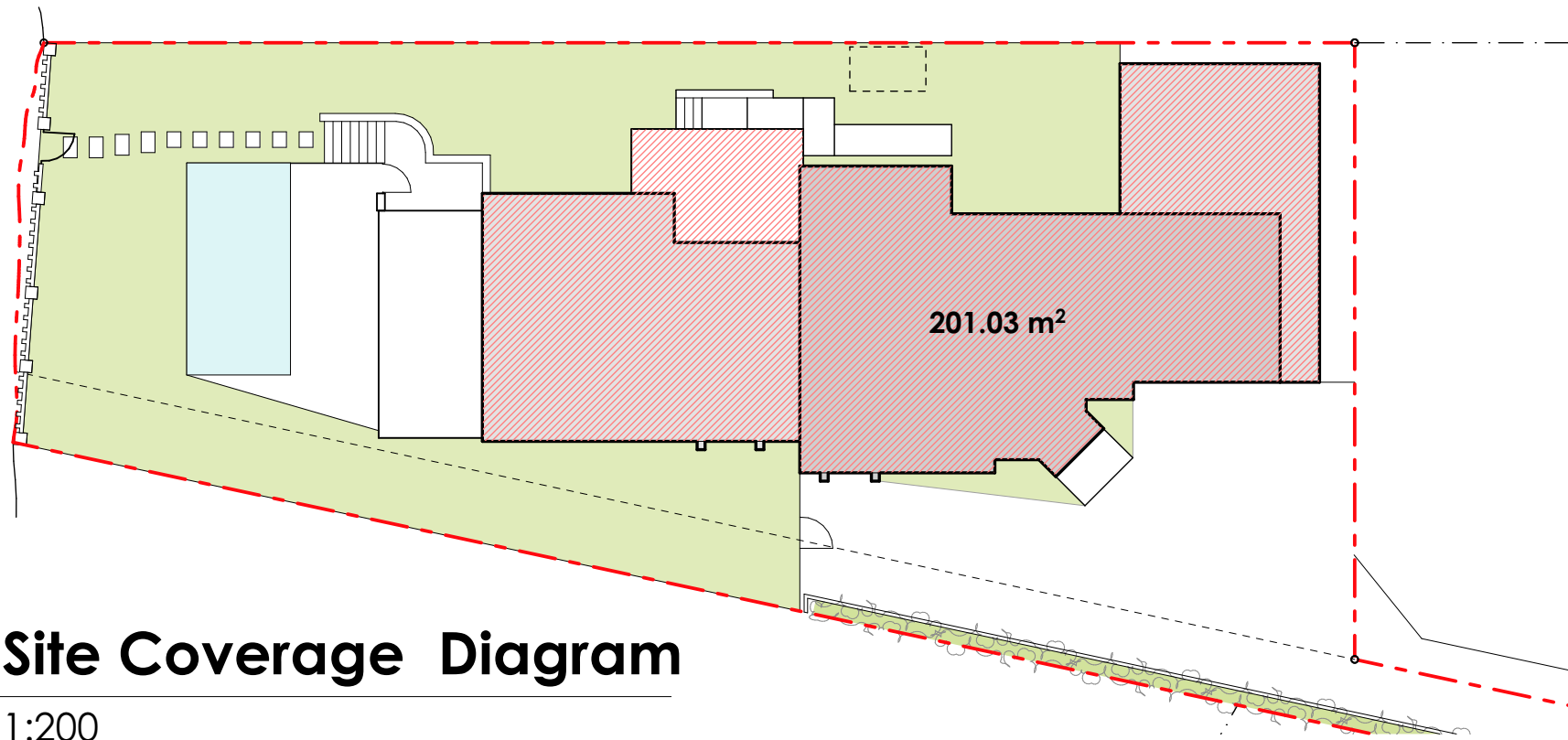
Smooth faced bricks. Feature/perforated patterns where shown

Off white colour or similar



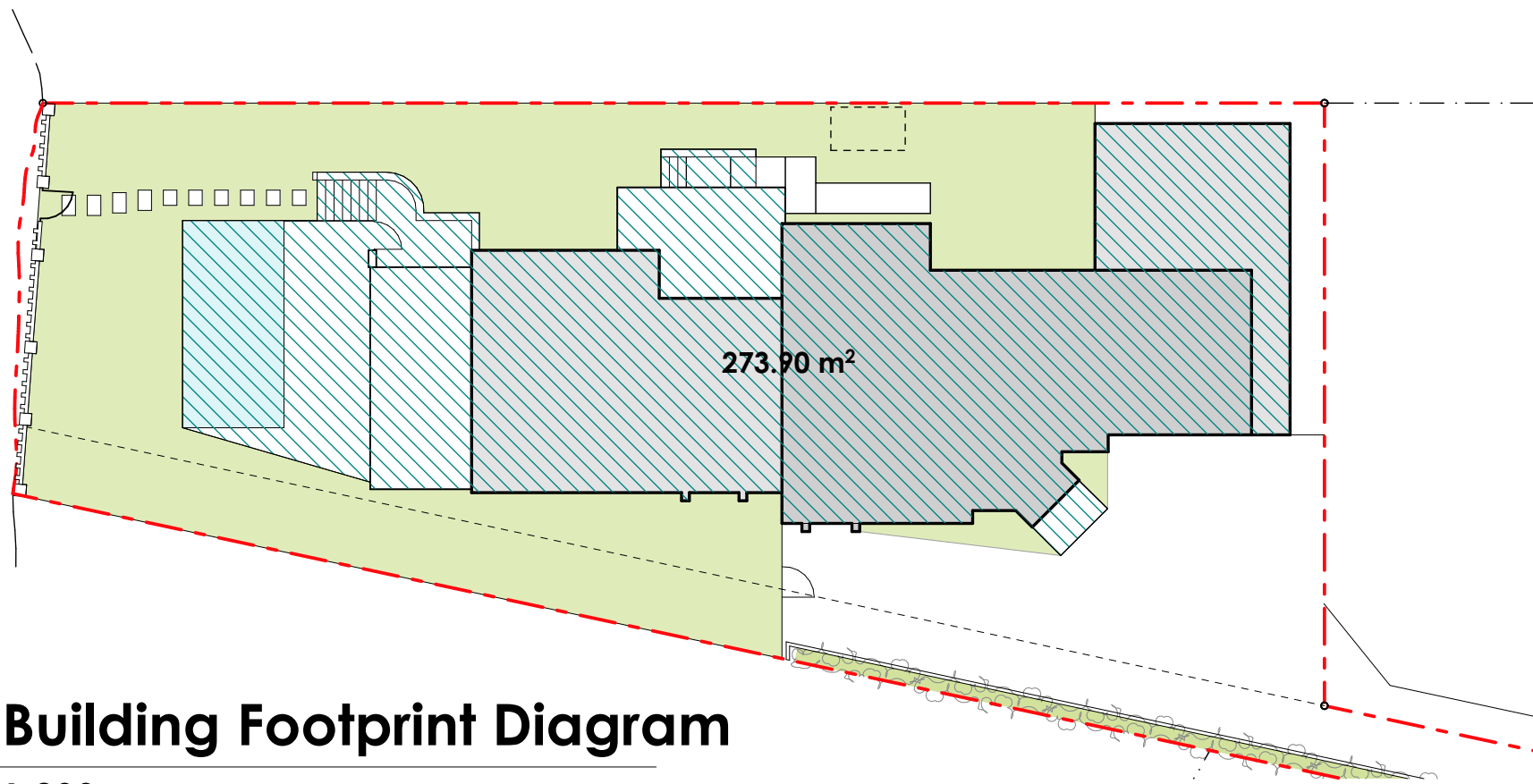
## Schedule of External Finishes





Site Coverage Diagram

1:200

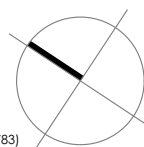
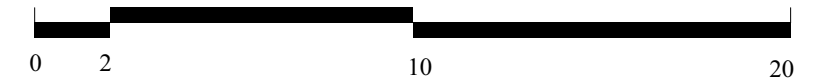


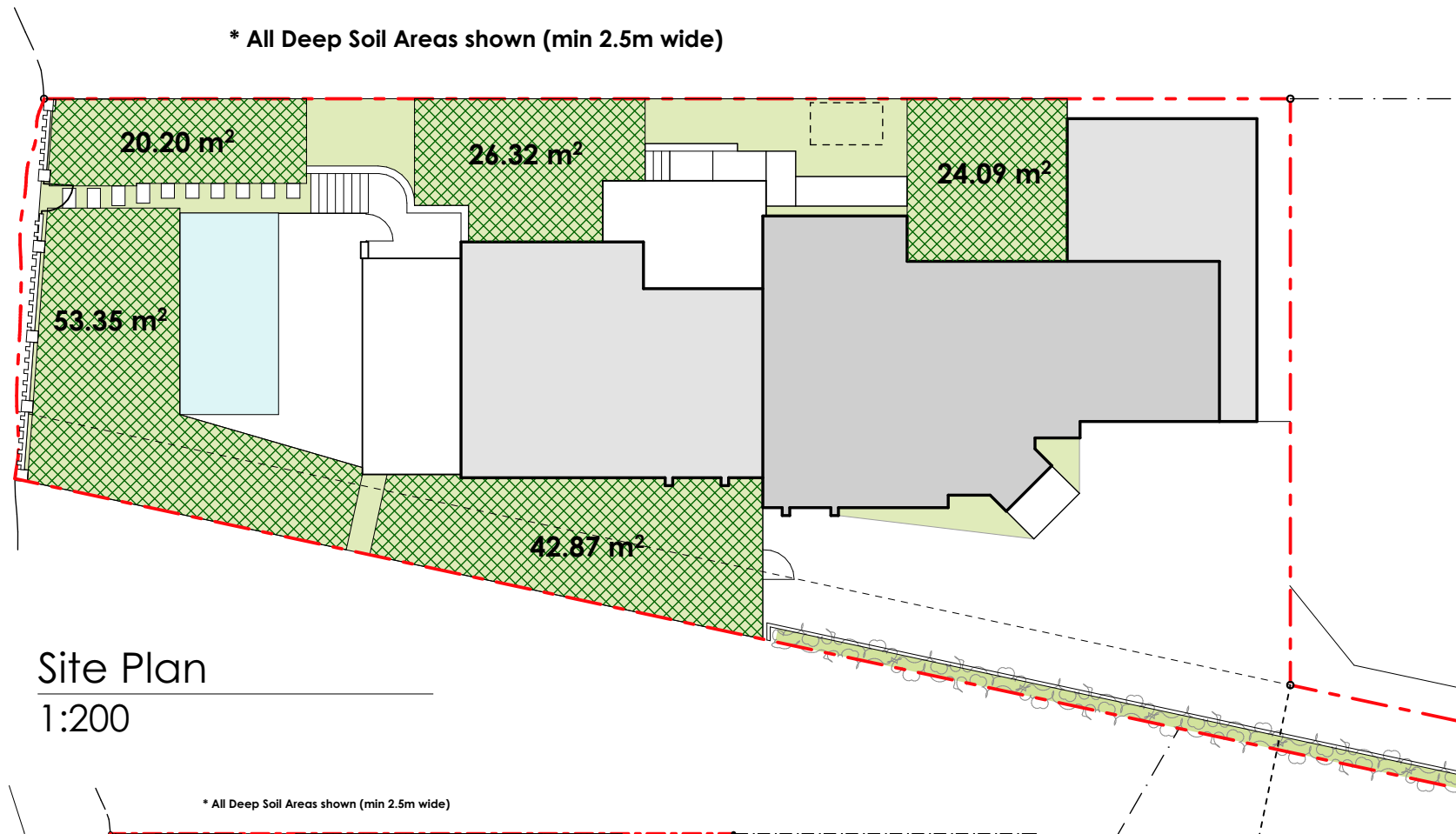
Building Footprint Diagram

1:200

Area Calculations		
Lot Area = 767.4m <sup>2</sup>		
Lot Area = 607.07m <sup>2</sup> (Excluding Right of Carriageway)		
	Control	Provided
Site Coverage DCP - Chapter 5 (Clause 2.2)	Max Permissible <b>306.96m<sup>2</sup></b> (40% of the site area)	<b>201.03m<sup>2</sup></b> (26.2% of the site area)
	Max Permissible <b>242.82m<sup>2</sup></b> (excl Right of Carriageway)	<b>201.03m<sup>2</sup></b> (33.1% of the site area - excl Right of Carriageway)
Building Footprint DCP - Chapter 5 (Clause 2.2)	Max Permissible <b>380m<sup>2</sup></b>	<b>273.9m<sup>2</sup></b>

Rev B

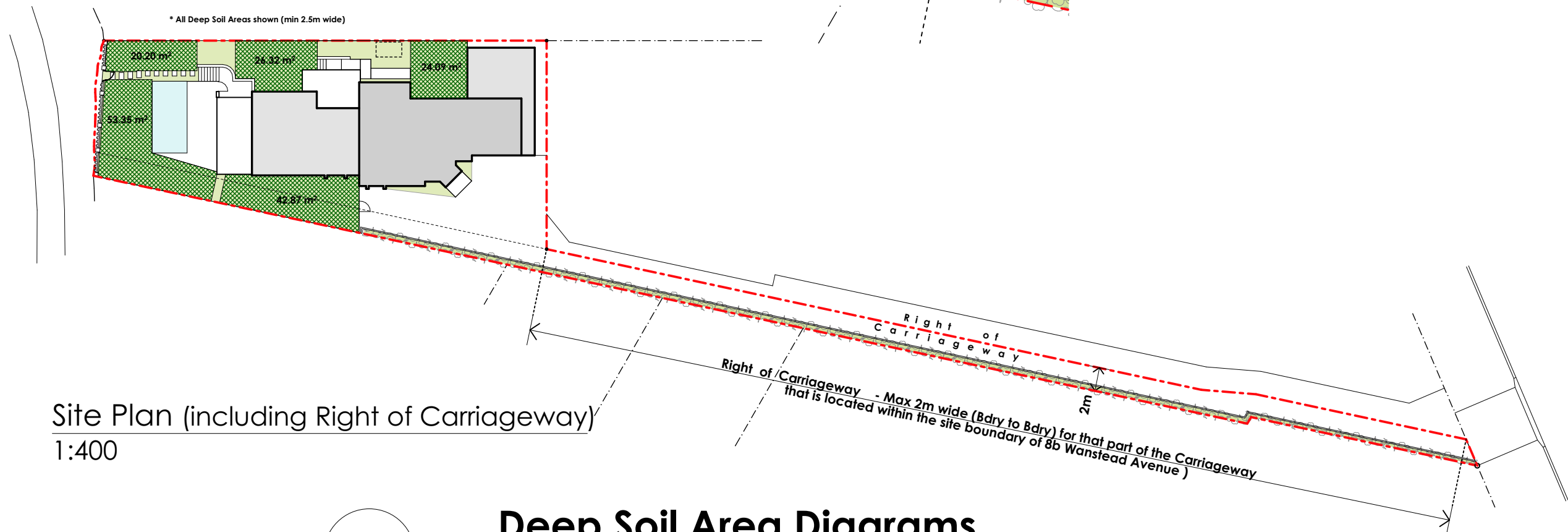




Site Plan  
1:200

Area Calculations		
Lot Area = 767.4m <sup>2</sup>		
Lot Area = 607.07m <sup>2</sup> (Excluding Right of Carriageway)		
	Control	Provided
Deep Soil Area DCP - Chapter 5 (Clause 2.3)	Min required <b>151.75m<sup>2</sup></b> (25% of the site area) excl Right of Carriageway)	<b>166.83m<sup>2</sup></b> (27.6% of the site area excl Right of Carriageway)

Rev B



Site Plan (including Right of Carriageway)  
1:400

## Deep Soil Area Diagrams